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 RECORDS DEPARTMENT AS
 BREVARD COUNTY
 COURT CLERK
 BREVARD CO., FLORIDA

ENTERPRISE TITLE AGENCY
 R Maitland Center MR
 Suite 205
 1051 Winderley Place
 Maitland, Florida 32751

THIRD AMENDMENT
TO DECLARATION OF CONDOMINIUM
ESTABLISHING SUNRISE VILLAGE,
A CONDOMINIUM

(ADDING PHASE II AND PHASE III TO CONDOMINIUM)

SUNRISE VILLAGE DEVELOPMENT, INC., a Florida corporation, hereinafter referred to as "Developer", hereby makes and declares this Third Amendment To Declaration Of Condominium Establishing Sunrise Village, A Condominium ("Third Amendment"), an existing condominium, hereinafter referred to as "Condominium", for the purpose of submitting to condominium ownership as part of said Condominium, the property and improvements constituting one of the additional phases known and designated as Phase II and Phase III of said Condominium.

I.

EXISTING CONDOMINIUM

The Condominium was heretofore established by Developer by virtue of recording the Declaration Of Condominium Establishing Sunrise Village, A Condominium ("Declaration") recorded March 3, 1989 in Official Records Book 2982, at Page 4671, in the Public Records of Brevard County, Florida, together with any amendments thereto ("Amendments").

II.

SUBMISSION - PHASE II AND PHASE III

Developer is the owner of the fee simple title to the property situate in the County of Brevard and State of Florida, more particularly described as Phase II (the "Phase II Property") and Phase III (the "Phase III Property") in Exhibit "A" attached hereto and incorporated herein. The Phase II Property is an additional phase of the Condominium consisting of two (2) separate buildings containing an aggregate of twenty-four (24) dwelling units and other pertinent improvements constructed thereon. The Phase III Property is an additional phase of the Condominium consisting of three (3) separate buildings containing an aggregate of thirty-two dwelling units and other pertinent improvements constructed thereon. The Declaration is hereby amended by replacing Exhibit "A" thereto by Amended Exhibit "A" attached hereto. Developer hereby submits the properties described as Phase II and Phase III in Exhibit "A" of this Amendment and other pertinent improvements to condominium ownership, being one of the additional phases known as Phase II and Phase III provided for in said Declaration, and hereby declares the same to be part of the said Condominium, all to the end that henceforth, as aforementioned, said Condominium will consist of all of the property and improvements submitted to

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 BREVARD CO., FL.
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Prepared by _____
 Robert T. Rosen, Esquire
 Broad and Cassel
 1051 Winderley Place
 Maitland, FL 32751

condominium ownership, comprising the initial submission known and designated as Phase I and this submission of the additional phase known and designated as Phase II and Phase III.

III.

SURVEY AND DESCRIPTION OF IMPROVEMENTS

PHASE II AND PHASE III

Annexed hereto and expressly made a part hereof is an amendment of Exhibit "B" to the Declaration, which attachment hereto is marked "Amended Exhibit B", consisting of thirteen (13) pages numbered 1 through 9, 9A, 10, 11 and 12. This is the survey of the Land and graphic description and plot plans of the improvements constituting the initial Phase I and the additional phases known and designated as Phase II and Phase III of the Condominium, and shows the relationship thereto to the Land and improvements presently comprising the Condominium, identifying the Condominium Units, Limited Common Elements and Common Elements, as said terms are defined in the Declaration, and their relative locations and dimensions.

The Declaration and Amendments thereto are hereby amended by adding Amended Exhibit "B" attached hereto as part of and in addition to Exhibit "B" to the Declaration and Amendments thereto.

Within the initial submission of the phase known and designated as Phase I, and this submission of the additional phase known and designated as Phase II and Phase III: (a) Each building containing Condominium Units is identified by specific numerical designation, and each of the eight Condominium Units within one building, and each of the twelve Condominium Units within each of six buildings, are also identified by specific numerical designation, and no building or Condominium Unit bears the same numerical designation as any other building or Condominium Unit; and (b) The Limited Common Elements shall be for the use and benefit of the Condominium Unit being bounded by said Limited Common Elements.

IV.

CONDOMINIUM UNITS, LIMITED COMMON ELEMENTS AND COMMON ELEMENTS

The Condominium, including the initial submission of Phase I, and this submission of Phase II and Phase III, now consists of eighty (80) Condominium Units, certain Limited Common Elements appurtenant to Condominium Units and Common Elements. As provided in the Declaration, the definition of the terms Condominium Units, Limited Common Elements and Common Elements applies to all of the property and improvements now comprised in the Condominium, meaning the eighty (80) Condominium Units, the

Limited Common Elements appurtenant to said Condominium Units and the Common Elements.

V.

PERCENTAGE OF UNDIVIDED INTEREST
APPURTENANT TO EACH CONDOMINIUM UNIT

As provided in the Declaration, of and from the date of recording of this Third Amendment, the undivided percentage interest in Common Elements appurtenant to each of the eighty (80) Condominium Units is and shall be, automatically, the percentage indicated for each respective Condominium Unit on Amended Exhibit "F" attached hereto and which shall also by this Third Amendment be annexed to the Declaration, which is now a 1/80th undivided percentage interest.

VI.

INTENT OF DEVELOPER

It is the intent of the Developer that the Condominium shall hereby be comprised of the eighty (80) Condominium Units, the Limited Common Elements appurtenant to said Condominium Units, and Common Elements described in the Declaration, the Amendments thereto, and this Third Amendment, all to the same force and effect as though the Condominium had not been established in phases, and all of the property and improvements now comprising the Condominium had been established as a single Condominium under the recording of the Declaration, and all of the provisions of said Declaration are hereby extended to, and applied to, the property and improvements submitted to condominium ownership under this Third Amendment in the same manner as said Declaration extended to, and applied to, the property and improvements originally submitted to the condominium ownership under said Declaration. In addition, as contemplated in the Declaration, additional phases may be added by the Developer to the Condominium, which right is not waived hereby.

VII.

AMENDMENT BINDING UPON DEVELOPER,
ITS SUCCESSORS AND ASSIGNS, AND SUBSEQUENT OWNERS

The restrictions and burdens imposed by the covenants of the Declaration are intended to and shall constitute covenants running with all of the Land, and shall constitute an equitable servitude upon all Condominium Units and their appurtenant interest in the Common Elements and Limited Common Elements, and the Declaration, the Amendments thereto, and this Third Amendment shall be binding upon the Developer, its successors and assigns, and upon all parties in the Condominium, and their respective heirs, legal representatives, successors and assigns.

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V. II.

JOINDER BY MORTGAGEE

The undersigned, NCNB NATIONAL BANK OF FLORIDA, as the owner and holder of that certain Mortgage recorded on August 4, 1988 in Official Records Book 2931, at Page 223, Public Records of Brevard County, Florida, does hereby join in the foregoing Third Amendment to Declaration of Condominium Establishing Sunrise Village, a Condominium (Adding Phase II and Phase III to Condominium) and agrees that the lien of said Mortgage shall be subject to the provisions of said Third Amendment and its appended exhibits.

IN WITNESS WHEREOF, the undersigned have caused these presents to be executed in their respective names, by their duly authorized officers and their corporate seal to be hereunto affixed, attested by its Secretary, this 12th day of October, 1989.

AS DEVELOPER:

Signed, sealed and delivered in the presence of:

SUNRISE VILLAGE DEVELOPMENT, INC., a Florida corporation

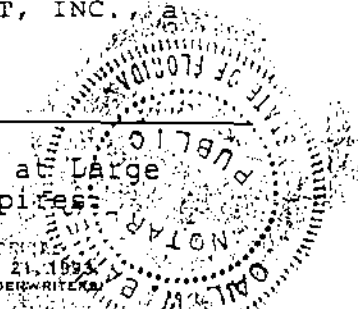
[Handwritten signature]
Robert T. Rosen

By: *[Handwritten signature]*
Name: ALAN H. GINSBURG
Title: V.P.

(CORPORATE SEAL)

STATE OF FLORIDA)
) SS:
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this 12th day of October, 1989, by Alan H. Ginsburg as Vice-President of SUNRISE VILLAGE DEVELOPMENT, INC., a Florida corporation, on behalf of the corporation.

[Handwritten signature]
Notary Public
State of Florida at Large
My Commission Expires:


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IMAGE
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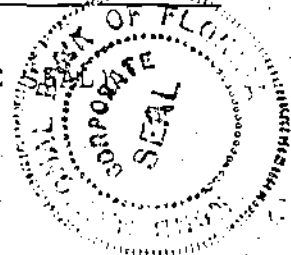
AS MORTGAGEE ONLY:

NCNB NATIONAL BANK OF FLORIDA,
a national banking association

J. C. K. [Signature]
Robert H. [Signature]

By: [Signature]
Name: DONALD C. MOORE
Title: VICE PRESIDENT

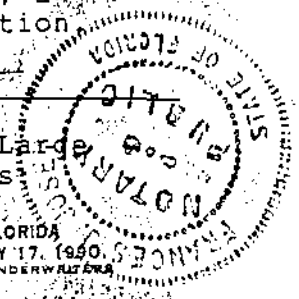
(CORPORATE SEAL



STATE OF FLORIDA)
) SS:
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me
this 18 day of October, 1989, by DONALD C. MOORE as
vice President of NCNB NATIONAL BANK OF FLORIDA, a
national banking association, on behalf of the association

[Signature]
Notary Public
State of Florida at Large
My Commission Expires



NOTARY PUBLIC, STATE OF FLORIDA
MY COMMISSION EXPIRES MAY 17, 1990.
BONDED THRU NOTARY PUBLIC UNDERWRITERS

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EXHIBIT "A"
(PAGE 1 OF 4)

LEGAL DESCRIPTION

SUNRISE VILLAGE, A CONDOMINIUM

A parcel of land lying in fractional Section 18, Township 23 South, Range 26 East, Brevard County, Florida, the same being more particularly described as follows; Commence at the intersection of the South line of said Section 18 with the Easterly right of way line of State Road 5 (Highway I) as said right of way line existed on December 18, 1956; thence run N22°12'25" W along said Easterly right of way line for 1610.00 feet to the point of beginning of the following described parcel of land; thence continue N22°12'25"W along said Easterly right of way for 1261.75 feet thence run S89°59'45"E for 224.05 feet to a point on the Bulkhead Line as shown in Bulkhead Line Book 1 at Page 30 of the Public Records of Brevard County, Florida; thence run S22°12'25"E along said Bulkhead Line 139.25 feet; thence run S67°47'35"W for 300.00 feet to the point of beginning. Parcel contains 8.2679 AC.

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EXHIBIT "A"
(PAGE 2 OF 4)

PHASE I

A PARCEL OF LAND LYING IN FRACTIONAL SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, THE SAME BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 18 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (HIGHWAY 1) AS SAID RIGHT-OF-WAY LINE EXISTED ON DECEMBER 18, 1956; THENCE RUN N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 1610.00 FEET TO THE POINT OF BEGINNING OF THE SITE; THENCE CONTINUE N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 632.30 FEET TO THE POINT OF BEGINNING PHASE-I, THENCE CONTINUING N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 629.45 FEET; THENCE RUN S89° 59' 45"E FOR 324.05 FEET TO A POINT ON THE BULKHEAD LINE AS SHOWN IN BULKHEAD LINE BOOK 1 AT PAGE 30, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE RUN S22° 12' 25"E ALONG SAID BULKHEAD LINE 303.34 FEET; THENCE S67° 47' 35"W FOR 100.69 FEET; THENCE S32° 20' 24"W FOR 156.01 FEET; THENCE S22° 12' 25"E FOR 113.46 FEET; THENCE S67° 47' 35"W FOR 72.00 FEET TO THE POINT OF BEGINNING FOR PHASE-I, PARCEL CONTAINS 2.9793 ACRES MORE OR LESS.

EXHIBIT "A"
(PAGE 3 OF 4)

PHASE II

A PARCEL OF LAND LYING IN FRACTIONAL SECTION 10, TOWNSHIP 23 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, THE SAME BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (HIGHWAY 1) AS SAID RIGHT-OF-WAY LINE EXISTED ON DECEMBER 10, 1956; THENCE RUN N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 1610.00 FEET TO THE POINT OF BEGINNING OF THE SITE; THENCE CONTINUE N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 426.13 FEET TO THE POINT OF BEGINNING PHASE-II THENCE CONTINUING N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 206.17 FEET; N67° 47' 35"E FOR 72.00 FEET; THENCE N33° 12' 25"W FOR 113.46 FEET; THENCE N32° 20' 24"E FOR 156.01 FEET; THENCE N67° 47' 35"E FOR 100.69 FEET TO A POINT ON THE BULKHEAD LINE AS SHOWN IN BULKHEAD LINE BOOK 1 AT PAGE 30 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE RUN S23° 12' 25"E ALONG SAID BULKHEAD LINE FOR 330.20 FEET; THENCE S67° 47' 35"W FOR 85.00 FEET; THENCE S27° 11' 34.4"W FOR 110.00 FEET; THENCE S67° 47' 35"W FOR 131.49 FEET TO THE POINT OF BEGINNING FOR PHASE-II. PARCEL CONTAINS 2.1455 ACRES MORE OR LESS.

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EXHIBIT "A"
(PAGE 4 OF 4)

PHASE III

A PARCEL OF LAND LYING IN FRACTIONAL SECTION 10, TOWNSHIP 23 SOUTH, RANGE 36 EAST, BREVARD COUNTY, FLORIDA, THE SAME BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 5 (HIGHWAY 1) AS SAID RIGHT-OF-WAY LINE EXISTED ON DECEMBER 10, 1956; THENCE RUN N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 1610.00 FEET TO THE POINT OF BEGINNING OF THE SITE AND PHASE-III; THENCE CONTINUE N22° 12' 25"W ALONG SAID EASTERLY RIGHT-OF-WAY FOR 426.13 FEET; THENCE N67° 47' 35"E FOR 131.44 FEET; THENCE N27° 11' 34.4"E FOR 110.00 FEET; THENCE N67° 47' 35"E FOR 85.00 FEET TO A POINT ON THE BULKHEAD LINE AS SHOWN IN BULKHEAD LINE BOOK 1 AT PAGE 30 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THEN RUN S22° 12' 25"E ALONG SAID BULKHEAD LINE FOR 497.71 FEET; THENCE S67° 47' 25"W FOR 300.00 FEET TO THE POINT OF BEGINNING FOR PHASE-III AND THE SITE. PARCEL CONTAINS 3.1431 ACRES MORE OR LESS.

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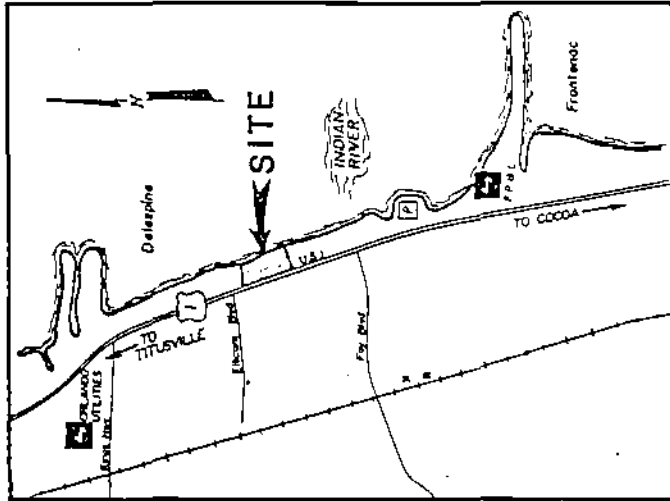
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SUNRISE VILLAGE, A CONDOMINIUM

LOCATED IN SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST
BREVARD COUNTY, FLORIDA.

DESCRIPTION SUNRISE VILLAGE, A CONDOMINIUM

A parcel of land lying in fractional Section 18, Township 23 South, Range 36 East, Brevard County, Florida, the same being more particularly described as follows: Commence at the intersection of the South line of said Section 18 with the easterly right of way line of State Road 8 (Highway 1) on said right of way line on October 14, 1984, thence run N11°12'18" W along said easterly right of way line for 1210.00 feet to the Point of Beginning; thence following described bearings and distances: to the first corner 189°37'47" E for 151.00 feet to a point on the Southhead Line as shown in Subhead Line Book 1 of Page 10 of the Public Records of Brevard County, Florida; thence run S11°12'18" W along said Southhead Line 115.85 feet; thence run S87°47'47" W for 200.00 feet to the point of beginning. Parcel contains 0.1813 ac.



VICINITY MAP
N.T.S.

GENERAL NOTES

THE COMMON ELEMENTS CONSIST OF ALL PROPERTY INCLUDED IN THE CONDOMINIUM AND NOT PLANNED THEREOF. SAID PLANNING BEING DESIGNATED AS EXHIBIT "B" HEREON. THE FACILITIES, LIES AND ALL OTHERS SHOWN ON THIS PLAN SHALL BE THE PROPERTY OF THE UNIT HOODER IN WHATEVER THE DEGREE OF OWNERSHIP OF THE UNIT HOODER. THE HORIZONTAL PLANE OF THE UNDEVELOPED FINISHED CEILING AND THE LOWER BOUNDARIES OF THE UNITS SHALL BE THE HORIZONTAL PLANE OF THE TOP OF THE UNDEVELOPED FINISHED FLOOR. THE VERTICAL BOUNDARIES OF THE UNIT SHALL BE THE VERTICAL PLANE OF THE UNDEVELOPED FINISHED LITATION OF THE WALLS SURROUNDING THE UNIT EXCEPT WHERE SHOWN OTHERWISE. THE UNITS SHALL BE SEPARATED BY COMMON WALLS AND WITH THE EXCEPTED LOWER BOUNDARIES WHERE SHOWN OTHERWISE. THE VERTICAL BOUNDARY, INCLUDING, BUT NOT LIMITED TO, SHEDS AND DOORS, SHALL BE LIMITED TO ALL SUCH PLACES, AT RIGHT ANGLES TO THE DISPOSITION OF SUCH APERTURES, SO THAT THE VERTICAL BOUNDARY AT SUCH PLACE SHALL BE COINCIDENT WITH THE EXTERIOR FINISHED SURFACE OF SUCH APERTURE, INCLUDING THE PARAPET WALLS THEREON. THE VERTICAL BOUNDARY SHALL BE LIMITED TO THE VERTICAL PLANE OF THE UNDEVELOPED FINISHED FLOOR AND CEILING EXCEPT WHERE SHOWN OTHERWISE. THE VERTICAL BOUNDARY SHALL BE LIMITED TO THE VERTICAL PLANE OF THE UNDEVELOPED FINISHED FLOOR AND CEILING EXCEPT WHERE SHOWN OTHERWISE.

CERTIFICATE OF SURVEYOR

The undersigned, being a Registered Land Surveyor authorized to practice in the State of Florida, does hereby certify that the foregoing is a true and correct copy of the Declaration of Condominium for Sunrise Village, a Condominium, as recorded in Official Records Book _____, Page _____, Construction of Unit _____.

and the buildings containing said units and all planned improvements including but not limited to, landscaping, utility services and access to these units and buildings as set forth in the Declaration of Condominium are substantially completed as that Exhibit "B" together with the provisions of the Declaration of Condominium describing the condominium property, is an accurate representation of the location and dimensions of the improvements and that the identification, location and dimensions of the improvements shown on this plan, as they are to be determined from Exhibit "B" and the Declaration of Condominium.

Date: _____ BY _____

Paul S. Raymond, L.S.
Florida Registration #10001

PHOENIX ENGINEERING ASSOCIATES, INC.
2555 TINKLE TRAIL, SUITE 202
WINTER PARK, FL 32789 (407) 740-7200

Accuright Surveys
2012 E ROBINSON ST
ORLANDO, FL 32801
PHONE (407) 294-6314



AMENDED

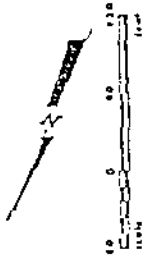
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SHEET 1 OF 2 SHEETS

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SUNRISE VILLAGE, A CONDOMINIUM



INDIAN RIVER

FOUND. MSD #1242
OR SEAWALL 0.00N 1.020 W.

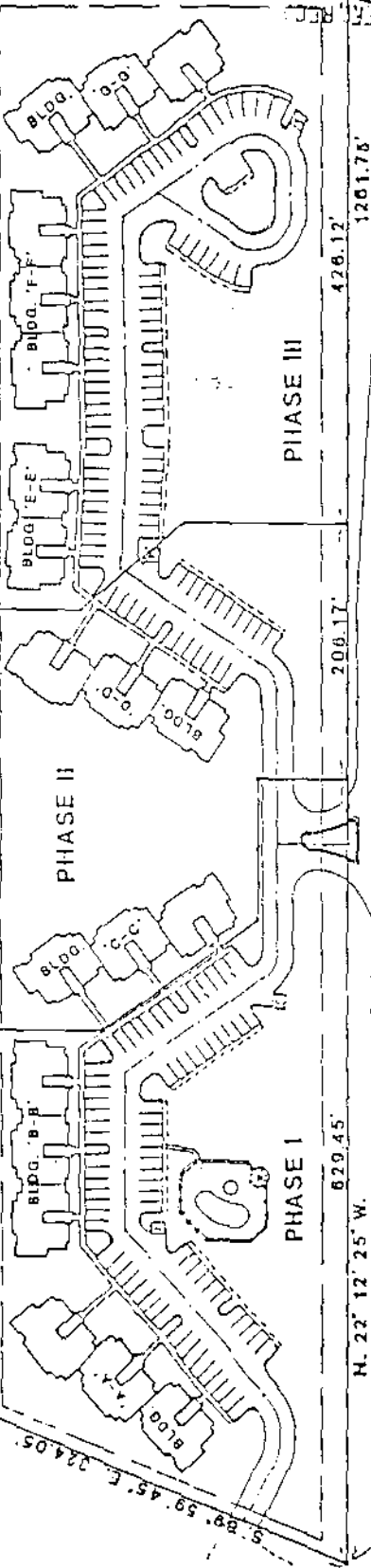
FOUND. Y CUT
OR SEAWALL 0.00N 1.022 E.

S. 22° 12' 25" E.
303.34'

338.20'

1138.25'

497.71'



H. 22° 12' 25" W.
620.45'

206.17'

426.12'

1261.78'

FOUND. LR #LB. 266

Site P.O.B.

FOUND. LR #LB. 266

Site P.O.C.

H. 22° 12' 25" W.
1610.00'

South Line 818,
123 S.R. 36 E

ELY R/W Line

18719
19724

Site P.O.B.

PHOENIX ENGINEERING ASSOCIATES, INC.
2555 TEMPLE TRAIL, SUITE 207
WINTER HAVEN, FL 32789 (907) 740-7232

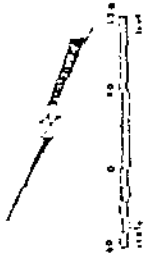
Accuright Surveys
3013 E. ROBINSON ST.
ORLANDO, FL 32809
PHONE (407) 894-8314



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EXHIBIT "B"
SHEET 1 OF 12 SHEETS

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SUNRISE VILLAGE, A CONDOMINIUM



INDIAN RIVER

FOURD RD #1242
ON SEAWALL 230H S 0.26 W.

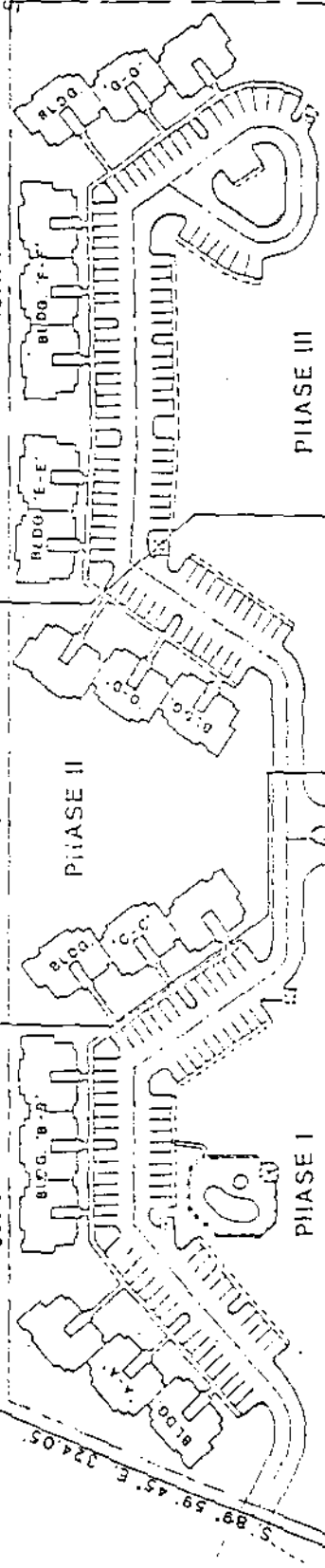
FOURD X-CUT
ON SEAWALL 0.091L E 0.22 E

S. 27° 12' 25" E
303.34'

1139.25'

338.20'

497.71'



PHASE I

PHASE II

PHASE III

N. 22° 12' 25" W.
629.45'

200.17'

426.12'

3024
5. 67' 47' 35" W. 300.00'

FOURD LR #LB. 266

Site P.O.B. 266

FOURD LR #LB. 268

P.D.C.

N. 22° 12' 25" W.
1610.00'

South Line S 18.
T23 S, R 36 E

E'LY R/W Line

18/10
13/24

Site P.O.B. 267



PHOENIX ENGINEERING
ASSOCIATES, INC.
2535 TEMPE TRAIL, SUITE 201
WINTER PARK, FL 32789 (407) 740-7527

Accuright Surveys
1012 E. ROBINSON ST.
ORLANDO, FL. 32801
PHONE (407) 894-8114

AMENDED
EXHIBIT "D"
SHEET 2 OF 12 SHEETS

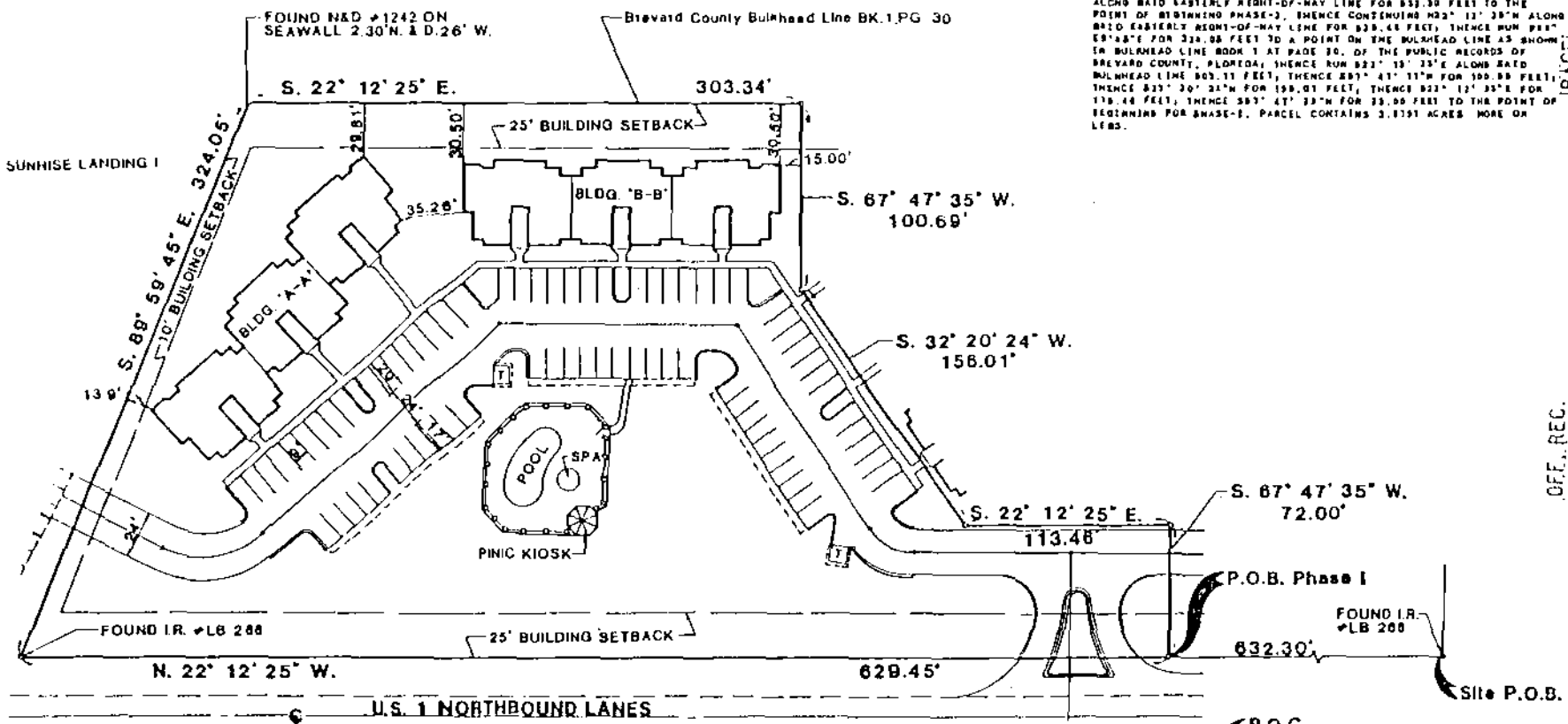
SUNRISE VILLAGE, A CONDOMINIUM



INDIAN RIVER

DESCRIPTION PHASE I

A PARCEL OF LAND LYING IN FRACTIONAL SECTION 18, TOWNSHIP 23 SOUTH, RANGE 28 EAST, BREVARD COUNTY, FLORIDA, THE SAME BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF S&T0 SECTION 18 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD 8 (HIGHWAY 1) AS SAID RIGHT-OF-WAY LINE EXISTED ON DECEMBER 19, 1989; THENCE RUN N22° 12' 25" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 1810.00 FEET TO THE POINT OF BEGINNING OF THE SITE, THENCE CONTINUE N22° 12' 25" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 632.30 FEET TO THE POINT OF BEGINNING PHASE-2, THENCE CONTINUING N22° 12' 25" W ALONG SAID EASTERLY RIGHT-OF-WAY LINE FOR 838.48 FEET; THENCE RUN PER S87° 47' 35" W FOR 72.00 FEET TO A POINT ON THE BULMHEAD LINE AS SHOWN IN BULMHEAD LINE BOOK 1 AT PAGE 10, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE RUN S22° 12' 25" E ALONG SAID BULMHEAD LINE 803.11 FEET; THENCE S87° 47' 35" W FOR 100.55 FEET; THENCE S22° 30' 24" W FOR 158.01 FEET; THENCE S22° 12' 25" E FOR 113.48 FEET; THENCE S87° 47' 35" W FOR 35.50 FEET TO THE POINT OF BEGINNING FOR PHASE-2. PARCEL CONTAINS 3.8751 ACRES MORE OR LESS.



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PHOENIX ENGINEERING ASSOCIATES, INC.
 2555 TEMPLE TRAIL, SUITE 202
 WINTER PARK, FL 32789 NO. 71740-7202

Accuright Surveys
 2013 E. ROBINSON ST.
 ORLANDO, FL 32803
 PHONE (407) 884-8314

AMENDED
 EXHIBIT "B"
 SHEET 3 OF 12 SHEETS

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SUNRISE VILLAGE, A CONDOMINIUM

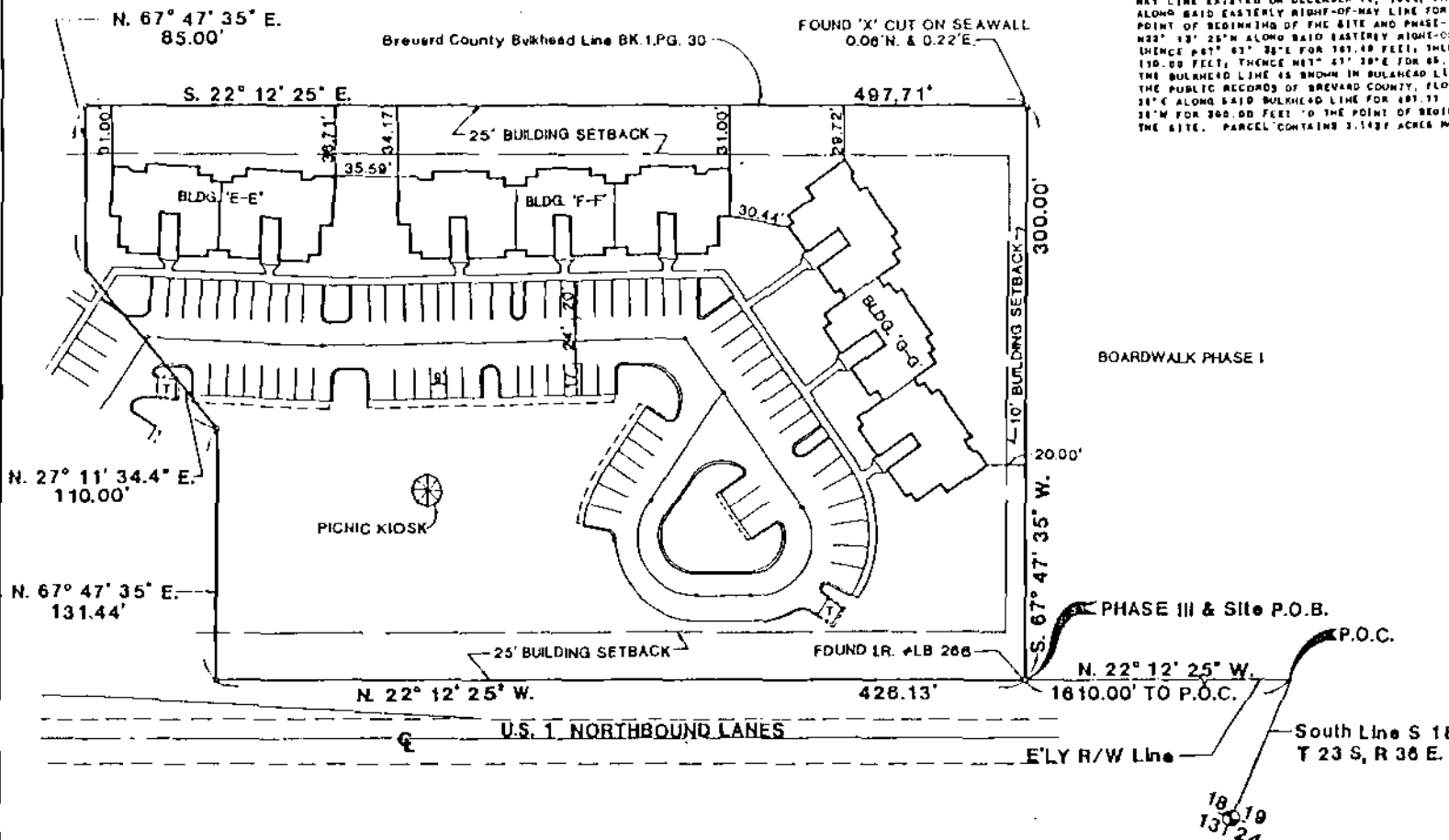
96/10/19/24



INDIAN RIVER

DESCRIPTION PHASE III

A PARCEL OF LAND LYING IN FRACTIONAL SECTION 18, TOWNSHIP 33 SOUTH, RANGE 38 EAST, BREVARD COUNTY, FLORIDA, THE SAME BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF SAID SECTION 18 WITH THE EASTERN RIGHT-OF-WAY LINE OF STATE ROAD 8 (HIGHWAY 1) AS SAID RIGHT-OF-WAY LINE EXISTED ON DECEMBER 18, 1988; THENCE RUN N22° 12' 25" N ALONG SAID EASTERN RIGHT-OF-WAY LINE FOR 1810.00 FEET TO THE POINT OF BEGINNING OF THE SITE AND PHASE-III; THENCE CONTINUE N22° 12' 25" N ALONG SAID EASTERN RIGHT-OF-WAY FOR 439.16 FEET; THENCE S67° 47' 35" E FOR 181.49 FEET; THENCE N22° 11' 34.4" E FOR 110.00 FEET; THENCE N27° 11' 34.4" E FOR 131.44 FEET TO A POINT ON THE BULKHEAD LINE AS SHOWN IN BULKHEAD LINE BOOK 1 AT PAGE 20 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA; THENCE RUN S22° 12' 25" E ALONG SAID BULKHEAD LINE FOR 497.71 FEET; THENCE S67° 47' 35" E FOR 300.00 FEET TO THE POINT OF BEGINNING FOR PHASE-III AND THE SITE. PARCEL CONTAINS 3.1427 ACRES MORE OR LESS.



BOARDWALK PHASE I

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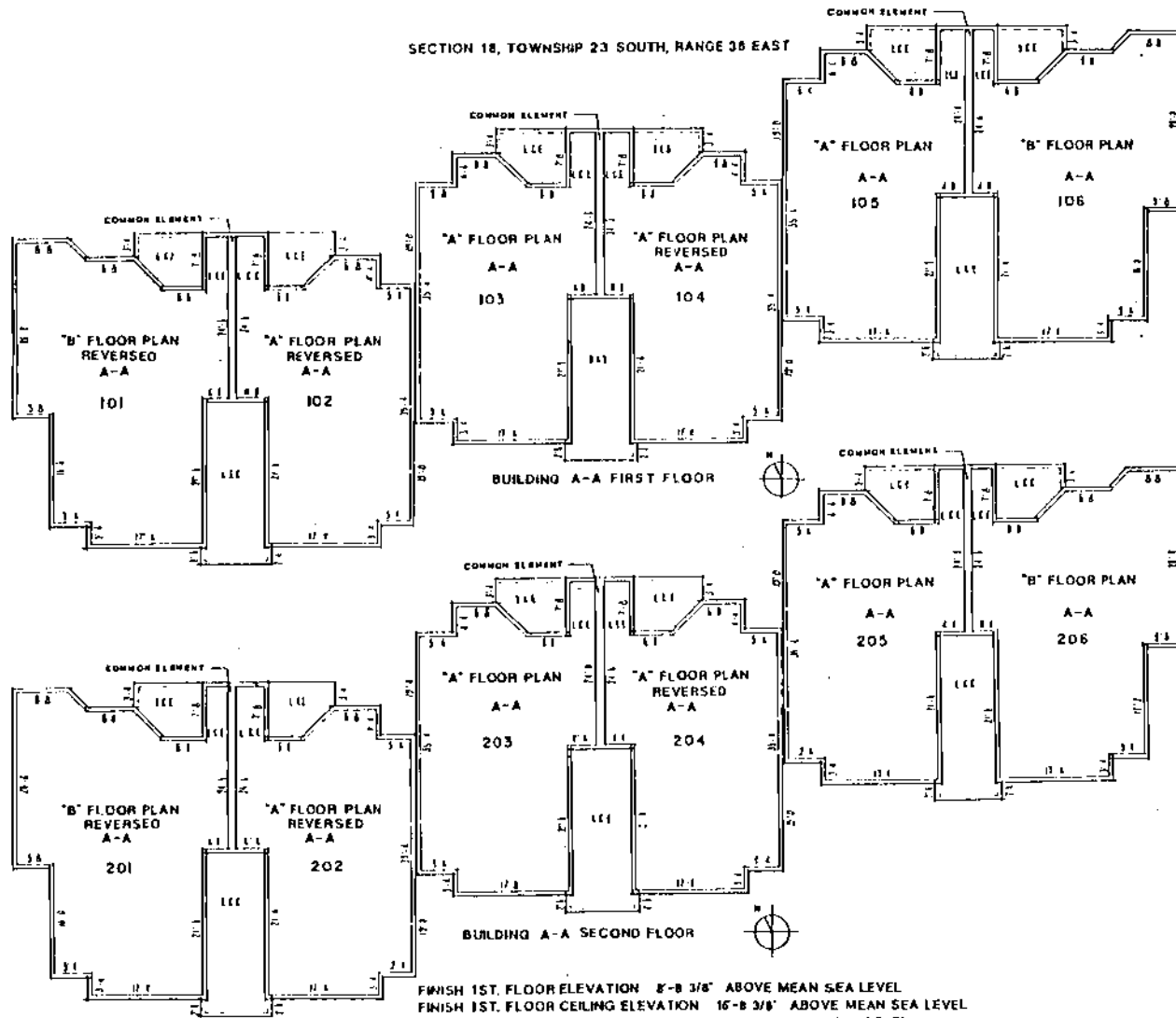
PHOENIX ENGINEERING ASSOCIATES, INC.
2555 TEMPLE TRAIL, SUITE 202
WINTER PARK, FL 32789 (407) 740-7202

Accuright Surveys
2012 E. ROBINSON ST.
ORLANDO, FL. 32803
PHONE (407) 884-6310

AMENDED
EXHIBIT "B"
SHEET 2 of 12 SHEETS

SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



FINISH 1ST. FLOOR ELEVATION 8'-0 3/8" ABOVE MEAN SEA LEVEL
 FINISH 1ST. FLOOR CEILING ELEVATION 16'-0 3/8" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR ELEVATION 17'-0 9/16" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR CEILING ELEVATION 25'-0 9/16" ABOVE MEAN SEA LEVEL
 L.C.E. DESIGNATES LIMITED COMMON ELEMENT

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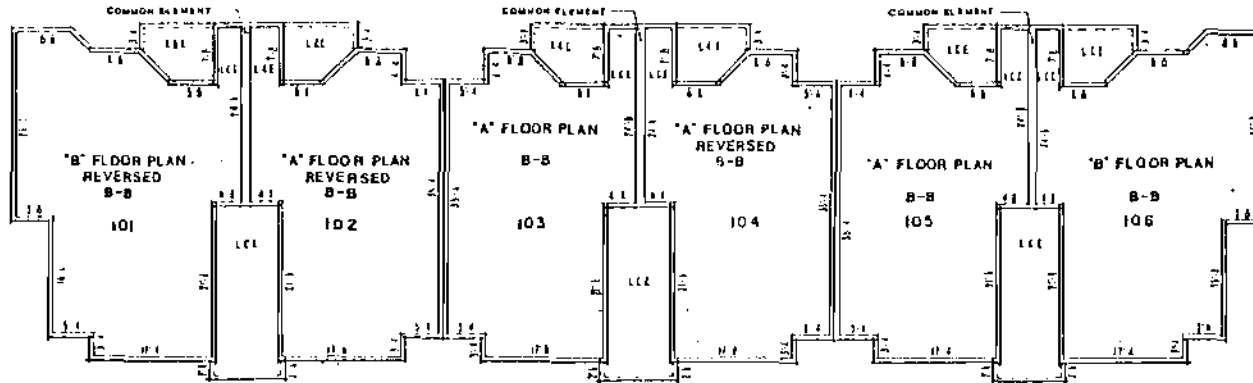
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FUGLEBERG KOCH ASSOCIATES
 ARCHITECTS AND PLANNERS
 ORLANDO, FLORIDA 32803
 AMENDED

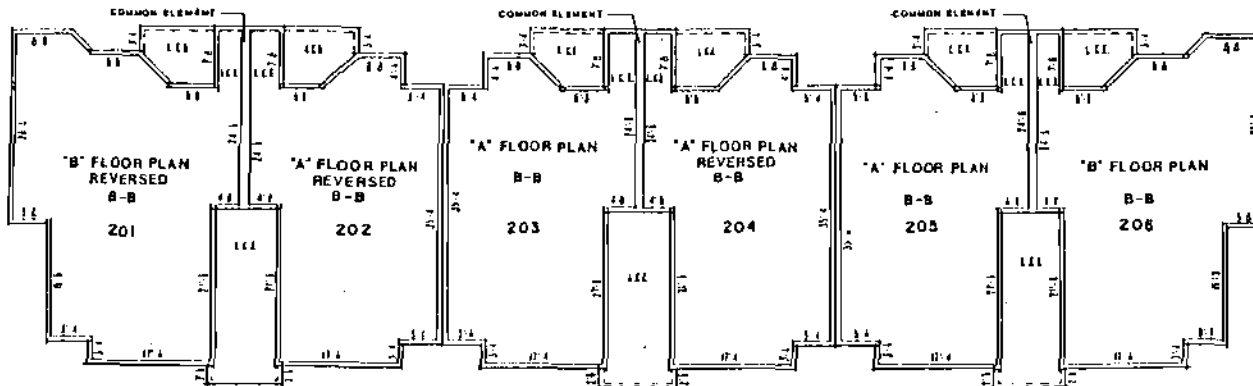
EXHIBIT "B"
 SHEET 6 OF 12

SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 38 EAST



BUILDING B-B FIRST FLOOR



BUILDING B-B SECOND FLOOR



FINISH 1ST. FLOOR ELEVATION 8'-6" ABOVE MEAN SEA LEVEL
FINISH 1ST. FLOOR CEILING ELEVATION 16'-6" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR ELEVATION 17'-8 3/16" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR CEILING ELEVATION 25'-8 3/16" ABOVE MEAN SEA LEVEL
L.C.E. DESIGNATES LIMITED COMMON ELEMENT

L.P.A.C.E.I.
0711

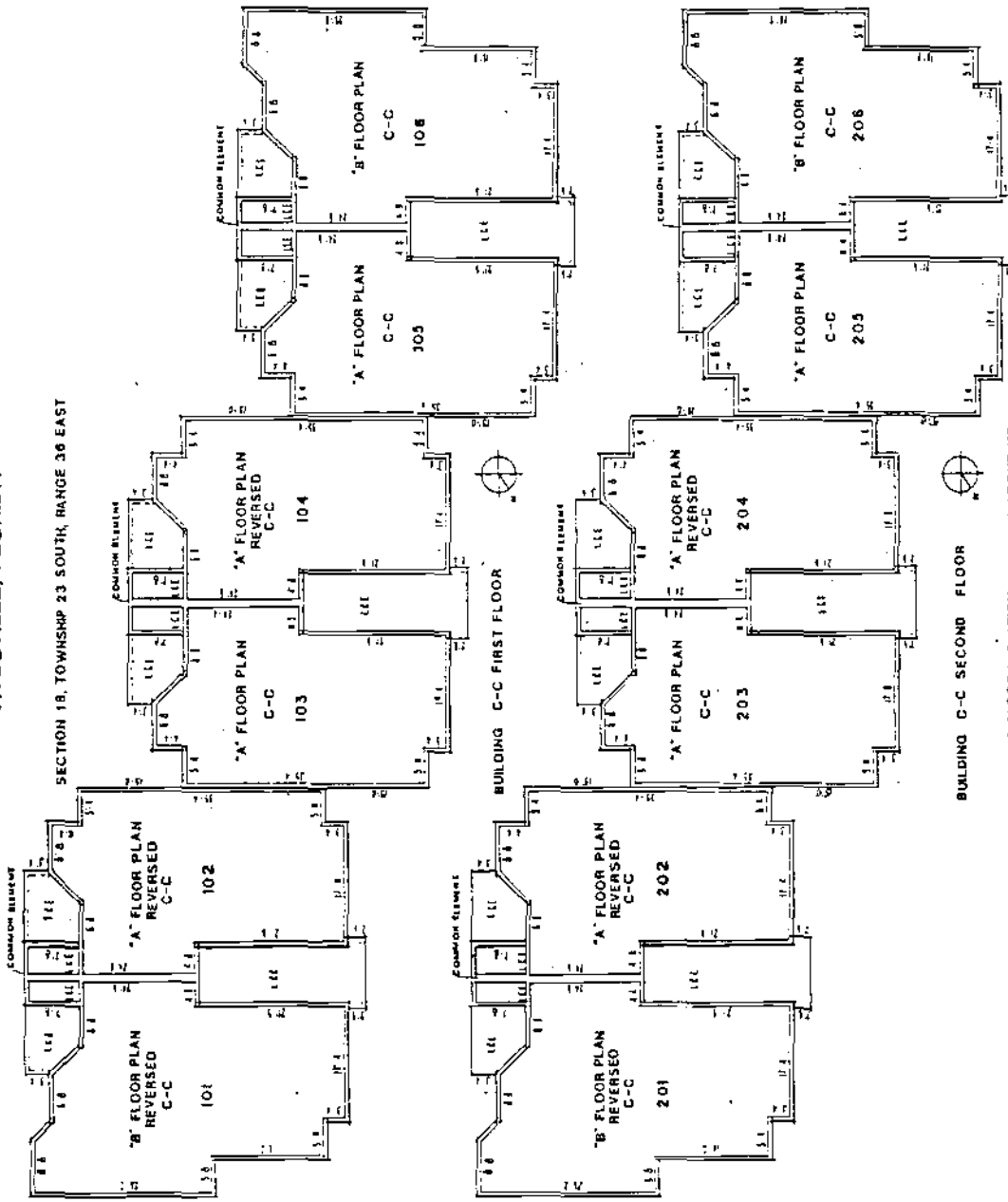
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EXHIBIT "B"
SHEET 7 OF 12

SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



BUILDING C-C FIRST FLOOR

BUILDING C-C SECOND FLOOR

FINISH 1ST. FLOOR CEILING ELEVATION 8'-0 3/8" ABOVE MEAN SEA LEVEL
FINISH 1ST. FLOOR CEILING ELEVATION 18'-0 3/8" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR CEILING ELEVATION 17'-0 9/16" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR CEILING ELEVATION 25'-0 9/16" ABOVE MEAN SEA LEVEL
L.C.E. DESIGNATES LIMITED COMMON ELEMENT

FUGLEBERG KOCH ASSOCIATES
ARCHITECTS AND PLANNERS
ORLANDO, FLORIDA 32803

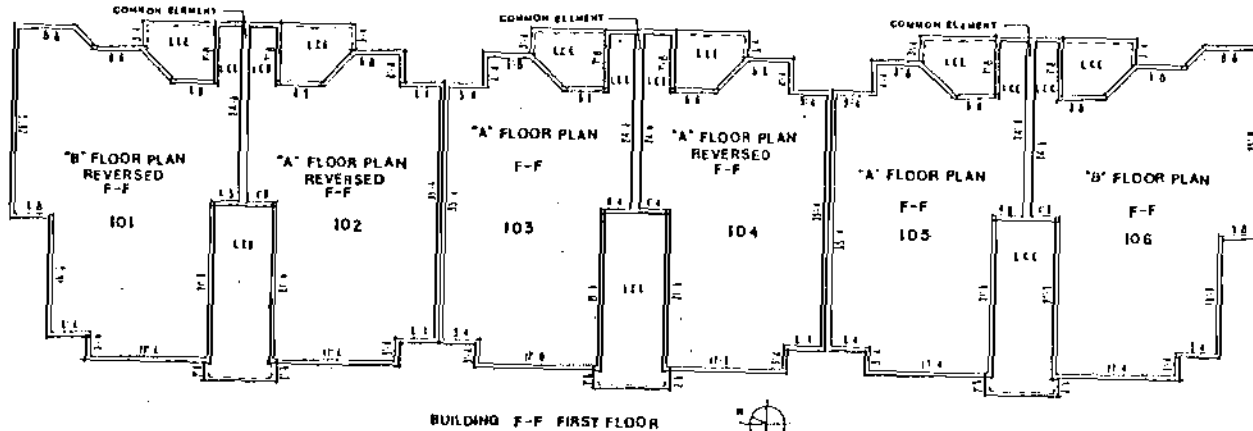
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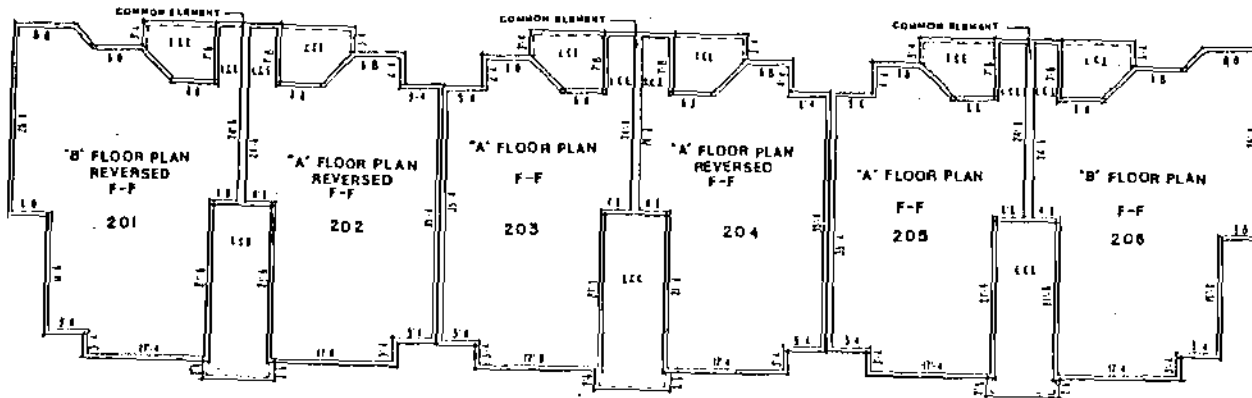
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SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



BUILDING F-F FIRST FLOOR



BUILDING F-F SECOND FLOOR

FINISH 1ST. FLOOR ELEVATION 8'-6" ABOVE MEAN SEA LEVEL
FINISH 1ST. FLOOR CEILING ELEVATION 10'-8" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR ELEVATION 17'-6 3/16" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR CEILING ELEVATION 25'-6 3/16" ABOVE MEAN SEA LEVEL
L.C.E. DESIGNATES LIMITED COMMON ELEMENT

FUGLEBERG KOCH ASSOCIATES
ARCHITECTS AND PLANNERS
ORLANDO, FLORIDA 32803
AMENDED

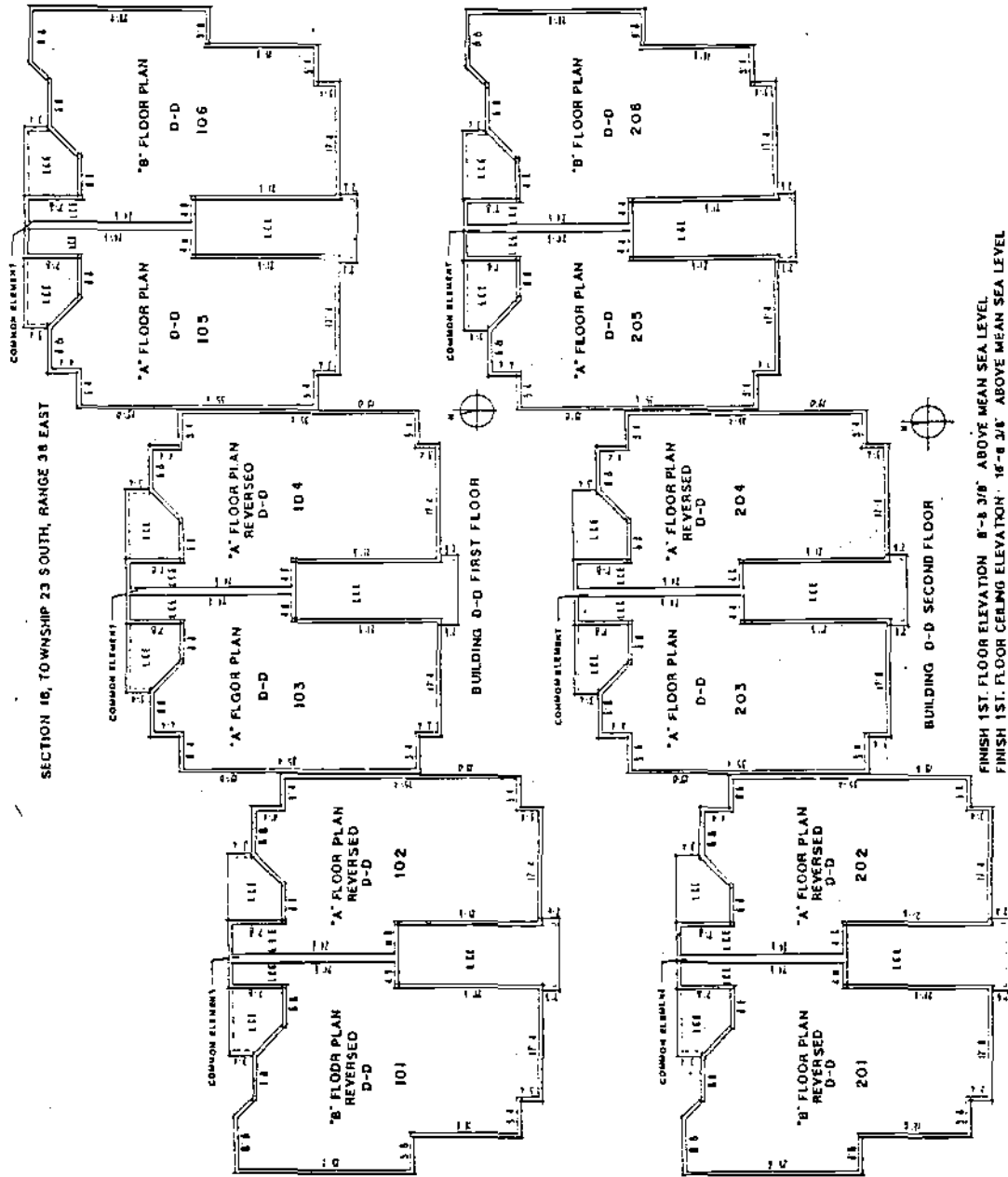
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SHEET 10 OF 12

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SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 16, TOWNSHIP 23 SOUTH, RANGE 38 EAST



FINISH 1ST. FLOOR ELEVATION 8'-8 3/8" ABOVE MEAN SEA LEVEL
FINISH 1ST. FLOOR CEILING ELEVATION 16'-8 3/8" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR ELEVATION 17'-9 9/16" ABOVE MEAN SEA LEVEL
FINISH 2ND. FLOOR CEILING ELEVATION 25'-8 9/16" ABOVE MEAN SEA LEVEL
L.C.E. DESIGNATES LIMITED COMMON ELEMENT

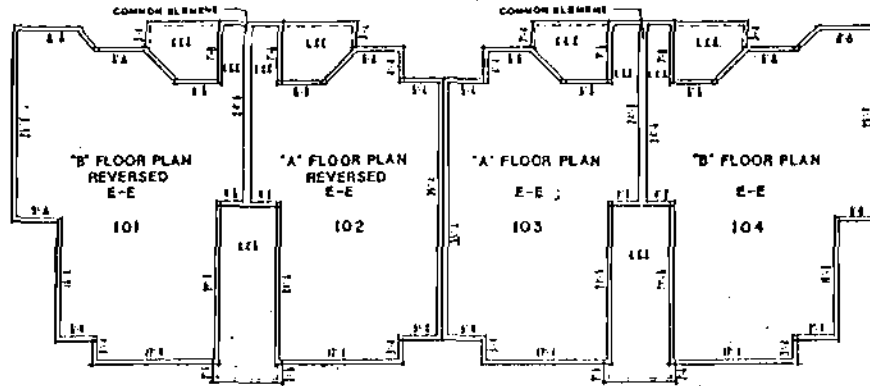
FUGLEBERG KOCH ASSOCIATES
ARCHITECTS AND PLANNERS
ORLANDO, FLORIDA 32803
AMENDED

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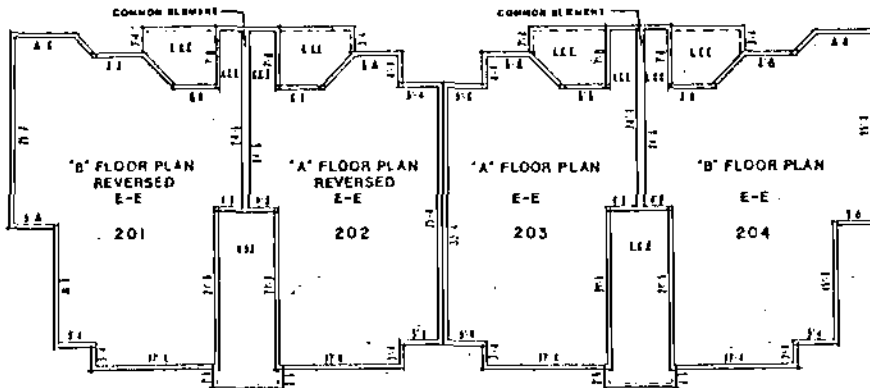
SHEET 9 OF 12

SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



BUILDING E-E FIRST FLOOR



BUILDING E-E SECOND FLOOR

FINISH 1ST. FLOOR ELEVATION 8'-4" ABOVE MEAN SEA LEVEL
 FINISH 1ST. FLOOR CEILING ELEVATION 16'-6" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR ELEVATION 17'-6 3/16" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR CEILING ELEVATION 25'-6 3/16" ABOVE MEAN SEA LEVEL
 L.C.E. DESIGNATES LIMITED COMMON ELEMENT

FUOLEBERG KOCH ASSOCIATES
 ARCHITECTS AND PLANNERS
 ORLANDO, FLORIDA 32803
 AMENDED

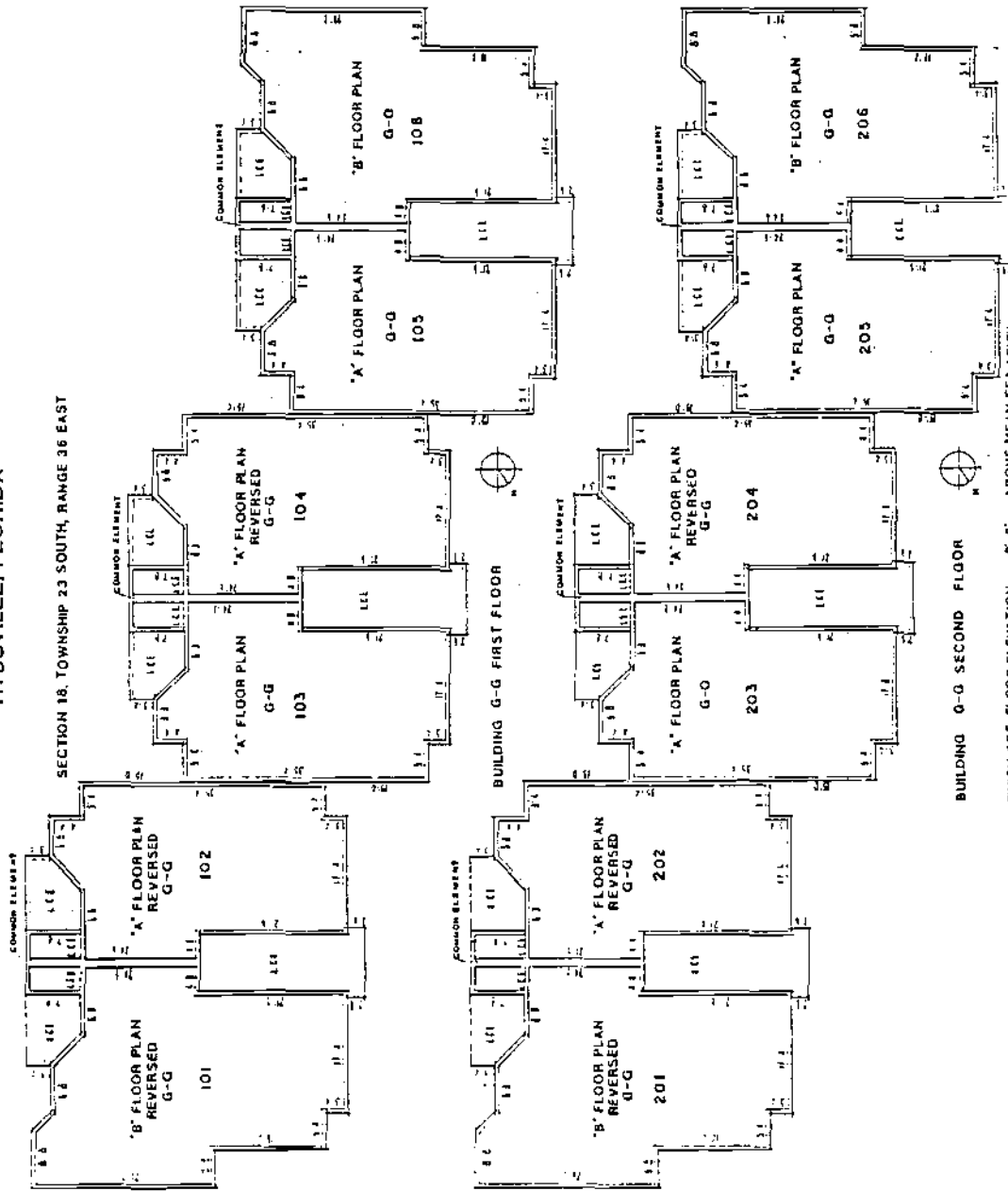
EXHIBIT "B"
 SHEET 9A OF 12

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SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE, FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



FINISH 1ST. FLOOR ELEVATION 8'-0" ABOVE MEAN SEA LEVEL
 FINISH 1ST. FLOOR CEILING ELEVATION 17'-0" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR ELEVATION 16'-0 3/4" ABOVE MEAN SEA LEVEL
 FINISH 2ND. FLOOR CEILING ELEVATION 26'-0 3/4" ABOVE MEAN SEA LEVEL
 L.C.E. DESIGNATES LIMITED COMMON ELEMENT

FIGLEBERG KOCH ASSOCIATES
 ARCHITECTS AND PLANNERS
 ORLANDO, FLORIDA 32803

AMENDED EXHIBIT "B"

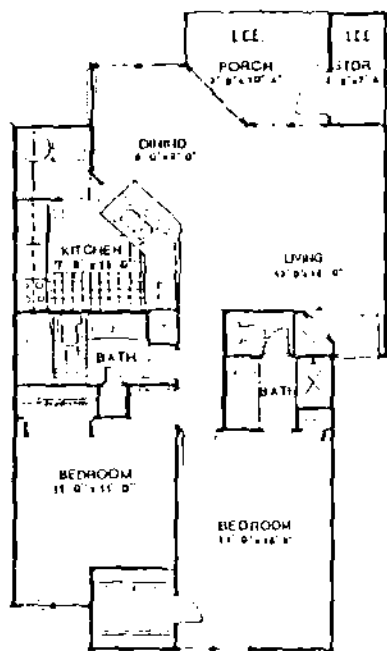
SHEET 11 OF 12

PAGE 1

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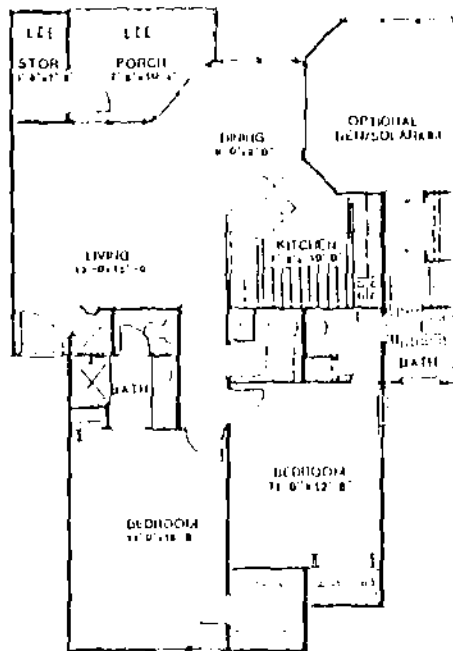
SUNRISE VILLAGE, A CONDOMINIUM
TITUSVILLE FLORIDA

SECTION 18, TOWNSHIP 23 SOUTH, RANGE 36 EAST



FLOOR PLAN

UNIT A
TOTAL SQ. FT. 1078.84



FLOOR PLAN

UNIT B
TOTAL SQ. FT. 1263

SQUARE FOOTAGES CALCULATED ON END UNITS (A) ARE FROM OUTSIDE OF EXTERIOR WALLS TO CENTER LINE OF PARTY WALL
SQUARE FOOTAGES CALCULATED ON INTERIOR UNITS (B) ARE FROM CENTER LINE TO CENTER LINE OF PARTY WALLS.
SQUARE FOOTAGE OF UNITS EXCLUDE L.C.E.
L.C.E. DESIGNATES LIMITED COMMON ELEMENT

NO UNIT INCLUDES THE PERIMETER WALLS SURROUNDING THE UNIT AND THE UNINCORPORATED FINISH UNFINISHED SURFACES OF SUCH PERIMETER WALLS.

~~FOR INFORMATION~~

FUGLEBERG KOCH ASSOCIATES
ARCHITECTS AND PLANNERS
ORLANDO, FLORIDA 32803

AMENDED
EXHIBIT "B"

SHEET 12 OF 12

SPACE

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AMENDED
EXHIBIT "F"
TO
DECLARATION OF CONDOMINIUM
OF
SUNRISE VILLAGE, A CONDOMINIUM
SHARE IN COMMON EXPENSES, COMMON
ELEMENTS AND COMMON SURPLUS

<u>Unit Number</u>	<u>% of Ownership</u>
AA-101	1/80th
AA-102	1/80th
AA-103	1/80th
AA-104	1/80th
AA-105	1/80th
AA-106	1/80th
AA-201	1/80th
AA-202	1/80th
AA-203	1/80th
AA-204	1/80th
AA-205	1/80th
AA-206	1/80th
BB-101	1/80th
BB-102	1/80th
BB-103	1/80th
BB-104	1/80th
BB-105	1/80th
BB-106	1/80th
BB-201	1/80th
BB-202	1/80th
BB-203	1/80th
BB-204	1/80th
BB-205	1/80th
BB-206	1/80th
CC-101	1/80th
CC-102	1/80th
CC-103	1/80th
CC-104	1/80th
CC-105	1/80th
CC-106	1/80th
CC-201	1/80th
CC-202	1/80th
CC-203	1/80th
CC-204	1/80th

CC-205	1/80th
CC-206	1/80th
DD-101	1/80th
DD-102	1/80th
DD-103	1/80th
DD-104	1/80th
DD-105	1/80th
DD-106	1/80th
DD-201	1/80th
DD-202	1/80th
DD-203	1/80th
DD-204	1/80th
DD-205	1/80th
DD-206	1/80th
EE-101	1/80th
EE-102	1/80th
EE-103	1/80th
EE-104	1/80th
EE-201	1/80th
EE-202	1/80th
EE-203	1/80th
EE-204	1/80th
FF-101	1/80th
FF-102	1/80th
FF-103	1/80th
FF-104	1/80th
FF-105	1/80th
FF-106	1/80th
FF-201	1/80th
FF-202	1/80th
FF-203	1/80th
FF-204	1/80th
FF-205	1/80th
FF-206	1/80th
GG-101	1/80th
GG-102	1/80th
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GG-104	1/80th
GG-105	1/80th
GG-106	1/80th
GG-201	1/80th
GG-202	1/80th
GG-203	1/80th
GG-204	1/80th
GG-205	1/80th
GG-206	1/80th

Total % of Ownership

100%