

.Willow Lakes RV Resort, A Condominium
Architectural Review (AR) Rules
November 21, 2018

The following Architectural rules have been updated as of the date above. These rules are to be enforced from this day forward

1. **AUTHORITY:** According to Florida Statute 718 and the Bylaws of Willow Lakes RV Resort Condominium Association, Inc., the purpose of the Architectural Rules, Regulations & Restrictions are to develop and enforce the rules, regulations and restrictions established by the Willow Lakes RV Resort Condominium Association Inc., and is the responsibility of the Board of Directors who have the final authority to approve or disapprove a change to a unit/lot.
2. **PROCESSES:**
 - A. All unit owners shall submit an Architectural Review Form (available in the Association Office). **NO WORK SHALL BE STARTED** until an approval has been obtained from the BOD. All AR forms, for structure, must contain the plat layout, dimensions, building elevations (front, back and sides) and type/material of roof and exterior finish to be installed. The approved form is valid for one year from date of approval. **No work shall be started until a county permit has been issued and visibly displayed on the property if required.**
 - B. If an owner disagrees with the ruling he/she may request a hearing.

ALL PROPERTIES SHALL COMPLY WITH THE REQUIREMENTS, AND BE COMPATIBLE WITH THE PHASE IN WHICH IT IS LOCATED, MUST BE CLEAN IN GOOD REPAIR AND APPEARANCE: FREE OF RUST, MOLD, MILDEW, BLACK STREAKED STAINS, OVER GROWN SHRUBS, TREES, WEEDS, TRASH, CLUTTER, ETC.

ALL RV'S, VEHICLES AND GOLF CARTS SHALL BE PARKED ON THE CONCRETE PAD OR PAVERS. NO PART (SLIDE-OUTS INCLUDED) OF THE RV SHALL EXTEND BEYOND THE CONCRETE, PAVERS OR ROCK BEDS.

PHASE I consists of park homes, stick built cabins, aluminum ports, accessory buildings & RV sites. Park models & stick built structures shall be finished with vinyl siding or fiber cement board siding which has a horizontal look and mimics vinyl siding in appearance. (No stucco).

PHASE II-A Class A Motor Homes consists of stick-built cabins, single family homes with trussed and flat roofs, accessory buildings, aluminum ports & RV sites. All structures shall be finished with vinyl siding or fiber cement board siding which has a horizontal look and mimics vinyl siding in appearance

PHASE II-B consists of stick-built homes with trussed, shingled roofs, accessory buildings, stand-alone RV ports & RV sites. Outside finish on homes & accessory buildings shall be stucco and roofs shall have architectural shingles, metal shakes, metal shingles, or standing seam metal roof — no metal roofs with exposed fasteners. All RV ports shall be built into the lines of the home with

architectural trussed roofs. Stand-alone RV ports shall have structural steel posts, boxed in and finished with stucco, and roofing the same as any existing structure. Exterior accents shall include cement-based materials such as stone veneer or brick accents, and may not exceed 10% of the exterior surface rock beds

A. ALL PHASES:

I. CONSTRUCTION:

- 1 Plat setback requirements shall be met according to the Brevard Co. zoning rules.
- 2 Maximum height of a home/RV port shall be 25 feet to the peak.
- 3 All RV's, vehicles and golf carts shall be parked on the concrete pad or pavers. No part (slide-outs included of the RV shall extend beyond the concrete, pavers or rock beds.
- 4 All stand-alone RV ports shall have a minimum width of 12 feet and a minimum length of 25 feet.
- 5 If building under an RV port, the roof line of the RV port shall be the roof line of the building.
- 6 Vinyl screening shall be used for screen rooms.
- 7 Per Florida Statutes, only one RV per lot.
- 8 No stand-alone car ports, RV ports only.
- 9 Setbacks for building on the ponds must be met to ensure the slope of the pond is maintained. Owners on the lakes will maintain 5 feet of pervious material between any structures or patios and their lot lines to prevent bank erosion and keep fertilizer and chemical runoffs out of our lakes. All new construction downspouts should drain to the street side of the lot to prevent bank erosion.

II. DETACHED ROOMS, GARAGES, PATIOS, PORCHES, SCREEN ROOMS, STORM SHUTTERS, FENCING

1. Single detached rooms, garages, screen rooms and utility sheds shall be stick built on site, be anchored to a concrete floor, and the roof must conform to surrounding structures. The setback shall be a minimum of 50% of lot length for small utility buildings/storage sheds from the road(s) and shall not be altered for habitation without a new AR Review form and a Brevard County permit. Temporary screen rooms and temporary motorcycle barns must meet the setback of 50% of lot length and be removed prior to leaving for an extended period of time (30 Days).
2. Two storage containers per lot/unit are allowed. Dimensions are not to exceed 30Dx60Wx36H. They may be 72H if attached to a building. Must have a flat top. All containers must be secured so they do not create a hazard during hurricane season.
3. No aluminum roll up doors are permitted.
4. Attached RV ports may be enclosed with a RV door and shall match the roofline and exterior of the house. They must be engineered and permitted.
5. All wooden decks shall be treated (i.e., sealed, stained or painted) and maintained. Composite material decks are permitted.
6. The County shall determine the type of storm shutters to be installed on newly built homes. When using plywood, it shall match the color of the house or trim of the windows/doors.

7. No fencing of any kind is allowed on the property including underground pet fences. Neither shrubbery or trellises/arbors shall be used as a fence to surround the property. . The maximum dimensions for trellises/arbors are 24Dx48Wx40H unless they are within 24" of a house or accessory building and can then be 72H and must be anchored to the house or accessory building. Trellises must meet the set back rules – i.e. either 5' or 10'. No trellis should restrict the view of any unit/lot owner. All trellises must be secured so they do not create a hazard during hurricane season.

III. LANDSCAPING (Lawns, curbing, shrubs, trees, pavers, etc):

1. All lots shall have a minimum of 20% pervious material (grass, landscaping rocks, mulch).
2. Landscaping rock/mulch must be contained using edging material such as landscaping stones, landscaping timbers, curbing, etc. A pervious weed barrier needs to be installed under landscaping rock & mulch. Examples of non-pervious material are concrete, pavers, buildings, patio blocks and wood decks.
3. Only St. Augustine grass or Palmetto grass (in shady areas) shall be used. Lot owners are responsible for all maintenance and weed/insect control of flower beds, landscaping rock beds, tree beds, shrubbery and concrete/pavers year-round.
4. All pavers shall be set in paver-base cement sand.
5. The golf course property is exempt from landscape rules and BOD approval.
6. Removal of all trees shall require an AR form and must meet the County's requirements. The BOD may require the applicant to replace the removed tree or trees with a reasonable replacement either on site or elsewhere in the park (if they have no trees on their lot).

IV. FIREPLACES, CHIMENEAS, GAS GRILLS, EXTERIOR LIGHTING, RETAINING WALLS

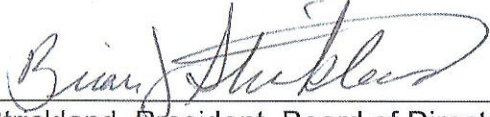
1. Any use of fireplaces, chimeneas, and gas grills shall conform to all county codes. There shall be no open pit type fires. There shall be screens over, and around all wood fires.
2. Approval is required for flood lighting or large area lighting. Blinking/flashing lights are only permitted during the holiday season. All lights shall be turned off at 11:00 pm and remain off until 7:00 am except for security lighting.
3. All retaining walls that are constructed on the ponds shall adhere to the codes of St. Johns Water & Conservation District as well as Brevard County. Retaining walls require ARC & Board Approval. Permits must be in hand prior to beginning construction. No person shall alter the drainage flow of the surface water or storm water management system, including buffer areas or swales, without the prior written approval of the St. John's Water District.

V. THE FOLLOWING ITEMS DO NOT REQUIRE AN ARCH APPLICATION WHEN INSTALLED ON PRIVATE PROPERTY (COMMON GROUNDS REQUIRE AN ARCH FORM)

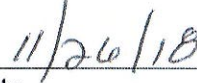
- 1 Vinyl poles with chains across the end of pads, not to exceed 4 feet above the ground and 2 feet from the road.
- 2 Decorative shutters on buildings/
- 3 Hurricane shutters. However, if using plywood, the shutters shall match the trim of the windows/doors or the color of the building. Shutters for new-built houses shall be determined by Brevard County.
- 4 One flag pole per lot.
- 5 Flowers, shrubs and trees 6 feet & under when planted.
- 6 Landscaping stones, pavers, curbing, timbers or edging materials may be used for edging flower beds and trees.
- 7 Any deck/porch including steps smaller than 6' x 8'.
- 8 To protect your building from mowers — pavers, rock, mulch or landscaping stone may be used, but Shall not exceed 1 foot from the edge of the building,
- 9 Air conditioners, propane tanks, electric/water hookups may be shielded from view. Vinyl shall be used and shall not exceed 4 feet in height.
- 10 Low wattage lighting may be used to illuminate trees.
- 11 Satellite dishes that do not exceed 39.37" in diameter. All such installations are encouraged to be installed where the dish is least visible.

Certification:

We hereby certify that the foregoing Architectural Review Guidelines and Processes dated November 21, 2018 were approved and adopted by the Board of Directors at a meeting held on November 21, 2018.



Brian Strickland, President, Board of Directors
Willow Lakes RV Resort Condo. Assoc., Inc.



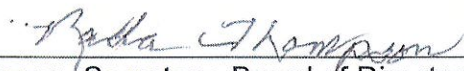
Date



Patricia Dyer, Vice-President, Board of Directors
Willow Lakes RV Resort Condo. Assoc., Inc.



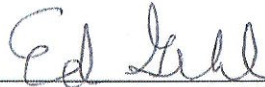
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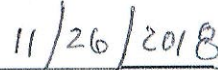
Nada Thompson, Secretary, Board of Directors
Willow Lakes RV Resort Condo. Assoc., Inc.



Date



Ed Gehl, Treasurer, Board of Directors
Willow Lakes RV Resort Condo. Assoc., Inc.



Date



Randall Lund, Developer, Board of Directors
Willow Lakes RV Resort Condo. Assoc., Inc.



Date

WILLOW LAKES RV RESORT CONDOMINIUM ASSOCIATION, INC.

RULES, REGULATIONS, RESTRICTIONS & ARCHITECTURAL REVIEW FORM

Date received: _____

Name: _____ Lot # _____ Phone: _____

SEA WALLS: All sea walls shall meet the requirements set forth by St. John's Conservation & Brevard Co. & must be identical in appearance to lots 218 through 225 on pond #2. The pilings shall be incorporated as the safety railings and shall include two ropes. The width of the cap shall be 17&1/2 inches from the water's edge.

IMPORTANT: All new construction, additions to buildings or existing park models require plans or drawings be submitted to the Willow Lakes RV Resort Condo. Assoc. Board of Directors for approval. Proper permits from Brevard Co. Building Department are your responsibility. If you do not have approval from the BOD or the proper building permits, the work shall be stopped and legal action may be taken.

A DETAILED DESCRIPTION INCLUDING THE TYPE OF CONSTRUCTION, SQUARE FOOTAGE, ELEVATIONS, EXTERIOR MATERIAL, ROOF MATERIAL, ETC. MUST BE SHOWN AND A DRAWING OF THE PROJECT MUST BE ATTACHED INCLUDING ALL LOT LINES. IT IS YOUR RESPONSIBILITY TO CONTACT KRIS HANSEN, IRRIGATION SPECIALIST, BEFORE THURSDAY OF ANY GIVEN WEEK BEFORE ANY CONSTRUCTION SHALL BEGIN. (Attach pages as necessary) _____

Who will work on this construction or improvement? Homeowner: _____ Name & Address of Contractor _____

It is your responsibility to ensure the contractor is insured and licensed in Brevard County and registered with the Office

I hereby submit this Application for approval for this improvement(s) to my property located at Willow Lakes RV Resort Condominium. I understand that approval from the BOD does not constitute approval from Brevard County, and that I may be required to obtain a building permit.

Owner Signature: _____ Date: _____

Submit all requests to: Willow Lakes RV Resort Condo Association, Inc.
Board of Directors
2850 Frontier Drive
Titusville, FL 32796

Following review of your project submitted for approval, the BOD

_____ Approves the request as submitted

_____ Approves the request with the following conditions: _____

_____ Disapproves the request for the following reason(s) based on the following rule(s): _____

President: _____ Date: _____

Vice-President: _____ Date: _____

Treasurer: _____ Date: _____

Secretary: _____ Date: _____

Developer: _____ Date: _____